



**TO LET**

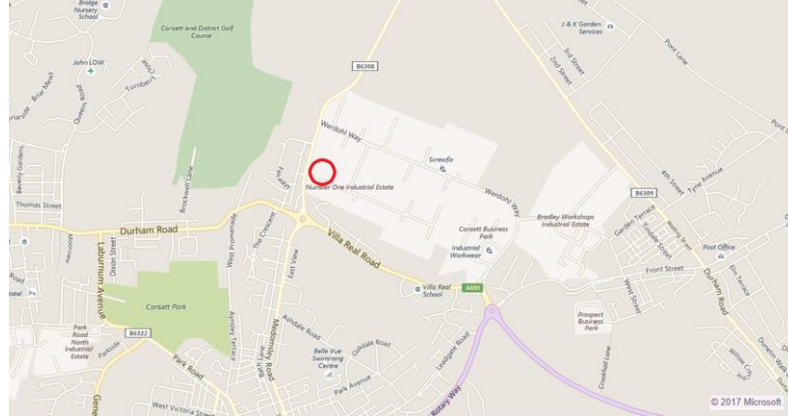
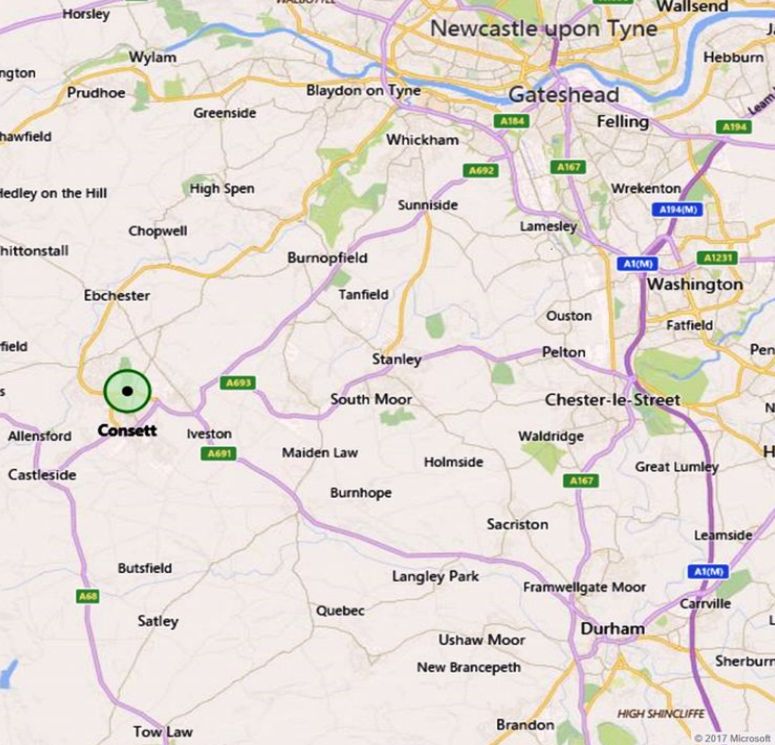
# MEDOMSLEY ROAD WORKSHOPS

NUMBER ONE INDUSTRIAL ESTATE,  
CONSETT, CO. DURHAM DH8 6SY



- Established location near town centre
- Bus routes nearby
- Loyal local workforce
- 3 Phase electricity
- Steel doorsets to personnel doors
- Security fencing with tenant controlled access gates

**WORKSHOP / INDUSTRIAL UNITS**  
**495 - 2,485 sqft (46 - 231 sqm)**



## TRAVEL DISTANCE

	Miles	Mins	Transport
A1 Durham	15.0	25	Car
A1 Team Valley	12.0	24	Car
A1 Chester-le-Street	13.0	24	Car
Durham City Centre	12.7	21	Car
Newcastle City Centre	14.3	31	Car

Source: theAA.com

# MEDOMSLEY ROAD WORKSHOPS

NUMBER ONE INDUSTRIAL ESTATE, CONSETT, CO. DURHAM



## LOCATION

The estate can be accessed via the A691 or A692 and is approximately 1/2 mile from Consett town centre. The properties are located within the south western corner of the estate.

## DESCRIPTION

Blocks 7, 8 & 17 are terraced units with brick/blockwork and profiled metal sheet elevations and insulated metal sheet roofs with translucent panels providing natural light. Blocks 7 & 8 have insulated panel loading doors 3.3m (w) by 3.5m (h). Blocks 18 & 19 are terraced units with brick elevations and mono-pitched roofs covered with profiled metal sheeting with translucent panels providing natural light. Blocks 18 and 19 have steel bifolding loading doors 2.6m (w) by 2.7m (h).

## SPECIFICATION

- Blocks 7 & 8 have brickwork walls with the upper level overclad. Mono pitched clad roof.
- Block 17 steel framed with brick/blck walls with cladding above. Dual pitched clad roof.
- Blocks 18 & 19 have brick/blockwork walls. Mono pitched clad roof.
- Translucent rooflight panels to each unit.
- 3 Phase electricity supply.
- 2.4m steel palisade compound fencing with tenant controlled access gates.

## TERMS

- A variety of leasing options are available
- Rent payable monthly in advance
- Rent quoted includes the cost of external maintenance charges and building insurance
- Tenant responsible for internal maintenance plus repairs to doors and windows
- Principal rent will increase by a fixed 3% per annum
- Rent deposit required
- Tenant responsible for payment of VAT, rates and utility charges

## EPC

The properties have Energy Performance ratings from B(34) to F(147). The Certificates and Reports can be made available upon request.

## VIEWING / FURTHER INFO

Please contact the agents to arrange a viewing or for further information.



**Whittle Jones - 9 Kingfisher Way, Silverlink Business Park, Wallsend, Tyne & Wear NE28 9NX**

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