



**TO LET**

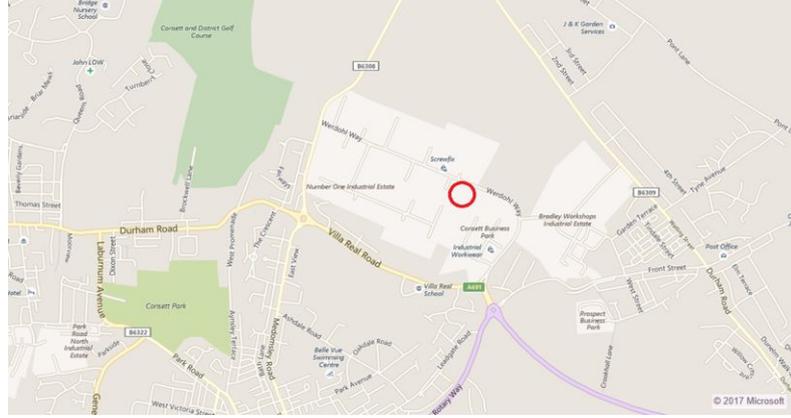
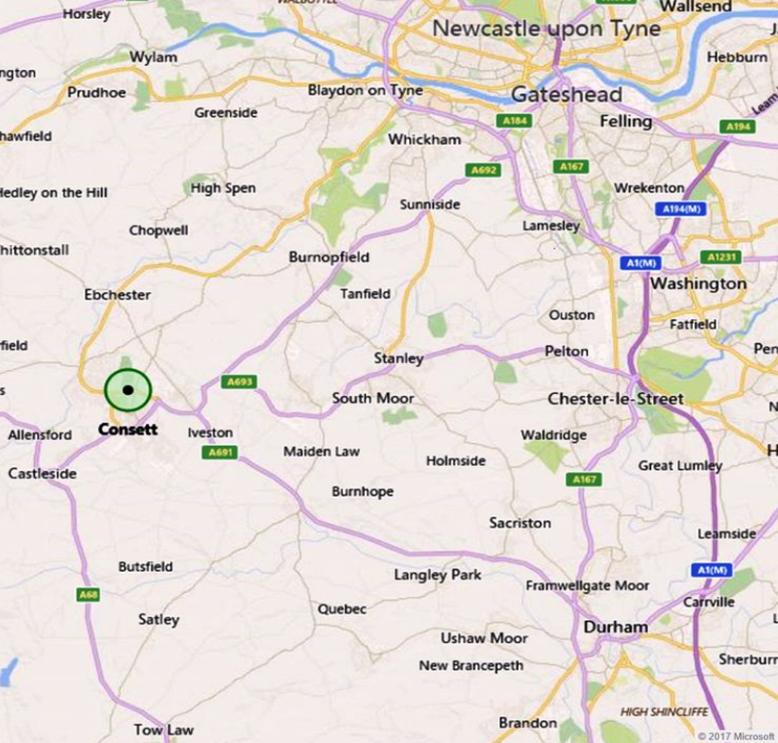
## **BLOCK 33**

**NUMBER ONE INDUSTRIAL ESTATE,  
CONSETT, CO. DURHAM DH8 6SZ**



- Established location near town centre
- Bus routes nearby
- Parking immediately adjacent to units
- Loading doors 3.5m(w) by 4.6m(h)
- Adjoining units can be combined (subject to availability)

**WORKSHOP / INDUSTRIAL UNITS**  
**2,366 - 2,393 sqft (220 - 222 sqm)**



## TRAVEL DISTANCE

	Miles	Mins	Transport
A1 Durham	15.0	25	Car
A1 Team Valley	12.0	24	Car
A1 Chester-le-Street	13.0	24	Car
Durham City Centre	12.7	21	Car
Newcastle City Centre	14.3	31	Car

Source: theAA.com

# BLOCK 33

## NUMBER ONE INDUSTRIAL ESTATE, CONSETT, CO. DURHAM



### LOCATION

The estate can be accessed via the A691 or A692 trunk roads and is approximately 1/2 mile from Consett town centre. The premises are situated at the eastern end of the estate, just off Werdohl Way.

### DESCRIPTION

A terrace of 6no industrial units of steel framed construction with walls brick/blockwork, insulated metal cladding above. The roof is insulated metal clad. Steel personnel doors and fire exits are installed. Internally the premises comprise open plan workshop / warehouse space with WC facilities provided. 3 Phase electricity supplies, mains gas and mains water/drainage are provided. Externally there are a number of parking spaces immediately adjacent the units.

### SPECIFICATION

- Steel portal framed. 4.5m clear internal height, 7.2m to ridge.
- Brick & blockwork walls c.2m with insulated cladding above.
- Profile metal clad dual pitched roof incorporating translucent rooflight panels.
- Ceiling mounted mains gas heater to production area within units 33A and 33E.
- 3 Phase electricity supply
- Loading doors 3.5m (w) by 4.6m (h)

### TERMS

- A variety of leasing options are available
- Rent payable monthly in advance
- Rent quoted includes the cost of external maintenance charges and building insurance
- Tenant responsible for internal maintenance plus repairs to doors and windows
- Rent will increase by a fixed 3% per annum
- Tenant responsible for payment of VAT, rates and utility charges

### EPC

The properties have Energy Performance ratings from Band D (82) to Band D (86). The Certificates and Reports can be made available upon request.

### VIEWING / FURTHER INFO

Please contact the agents to arrange a viewing or for further information.



**Whittle Jones - 9 Kingfisher Way, Silverlink Business Park, Wallsend, Tyne & Wear NE28 9NX**

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